

SUBDIVISION DESIGN GUIDELINES

FOR

**FAIRWAY VILLAGE
(Parcel 703)**

at

STONEBRIDGE RANCH

06/18/2015

**SUBDIVISION DESIGN GUIDELINES
FOR
FAIRWAY VILLAGE**

These Subdivision Design Guidelines are designed specifically for FAIRWAY VILLAGE subdivision and are promulgated in accordance with Section 3 of Article VIII of the "Consolidated and Amended Master Declaration of Covenants, Conditions, Restrictions, Easements, Charges and Liens on and for STONEBRIDGE RANCH" (the "Master Declaration") which instrument was recorded on October 29, 1992 as Instrument No. 92-0076613 in the Public Real Estate Records of Collin County, Texas and which is incorporated herein by reference for all purposes.

The primary purpose of these Subdivision Design Guidelines is to supplement the current version of the MASTER DESIGN GUIDELINES for STONEBRIDGE RANCH. Adherence to these guidelines are intended to better assure owners of properties within the FAIRWAY VILLAGE Subdivision that all individual improvements will conform to the same high standards of design excellence. The guidelines seek to establish a design framework which the individual homebuilder or homeowner will use as a guide for site improvement, with latitude and flexibility (on the one hand) balanced against preserving the integrity of STONEBRIDGE RANCH (on the other hand). These Subdivision Design Guidelines will, hopefully, serve to guide, inform, aid and inspire to the same extent as they serve to prohibit, restrict and require. While some features are mandated, it should be understood that the Master Architectural Review Committee ("MARC") may make discretionary judgments to reduce or waive any requirement when it can be demonstrated (to the reasonable satisfaction of the MARC) that appropriate mitigating measures have been taken. However, such discretionary approval(s) shall not represent or constitute a binding precedent since no two or more tracts or circumstances are likely to be alike.

1. Height Limitation: Thirty-five feet (35') measured per City ordinances.

2. Minimum Dwelling Setback Requirements:

Front Yard: Twenty feet (20') to main structure.

Rear Yard: Twenty feet (20') from rear lot line to main structure (excluding accessory buildings, cabanas, decks, fences, pools, etc.).

Side Yard: Five feet (5') to main structure.

Side Yard
on Corner: Fifteen feet (15') to main structure.

3. **Sitework.** Finished grades shall not direct concentrated water (i.e., downspouts, sub-grade drainage systems) flow onto adjacent properties and should follow the City of McKinney approved grading plans. Anytime a site is altered, it is the builder's responsibility to provide the retainage. Retaining walls are only to be constructed of stone. If side yard retaining walls are not desired, a slope of 3:1 (max.) must be achieved between the foundation slab and the side yard property line. The MARC reserves the right, upon reasonable advance notice, to require a topographical survey done by a registered surveyor before, during, or after construction.
4. **Masonry.** Chimneys not on a front elevation may be non-masonry. The front elevation must be a minimum 90% masonry. That portion of the elevation which faces the golf course/lake/greenbelt must be 100% masonry. The total minimum coverage of masonry for all elevations (measured excluding door and window openings) is 75%. Same brick blends may not be used on adjacent houses.
5. **Fences Along Golf Course/Lakes/Greenbelts.** With respect to each and every lot which has a side or rear property line coincident with or adjacent to a golf course/lake/greenbelt so as to constitute a golf course/lake/greenbelt frontage, fences along that frontage shall comply with the following requirements:
 - (A) Must be 59" (inches) in height;
 - (B) open metal, primed and painted a flat black color;
 - (C) constructed as indicated in the MASTER DESIGN GUIDELINES.
 - (D) No gate opening or access may be provided through any fence onto the golf course.
6. **Interior Lot Fencing.** No fence shall exceed six feet (6') in height measured from finished grade. Except for those fences required to be constructed of open metal, all other fences shall be constructed with Western Red Cedar (#1 or "Standard and Better"). Pickets are to be placed on the exterior face or as specified by the MARC. No pine or spruce fencing materials shall be permitted. Interior lots should have the 6'-0" height wood privacy fence and be constructed as indicated in the Master Design Guidelines.
7. **Roof Drainage.** In order to assist in the orderly drainage and removal of roof water and the overall quality of drainage, gutters and downspouts may be required at the discretion and direction of the MARC.
8. **Roof.** Any proposed composition roof materials shall be at least a 25-year "architectural" or "dimensional" type shingle. The shingle color should be Weatheredwood.

Roofs covering bay windows may be the same composition shingles as the main roof if the bay projects more than 3'-0"; or if less than 3'-0" must be copper or factory finish metal.

9. **Required Landscaping.** Per the MARC approved landscape plan, all landscape is to be installed **BY THE BUILDER WITHIN THIRTY (30) DAYS** of substantial completion or change of ownership (closing). The Lot areas listed below shall be landscaped with the following size and/or number of shade trees, which shall be from the "highly recommended" or "acceptable" category described within the STONEBRIDGE RANCH Plant Palette (set forth in the Master Design Guidelines).

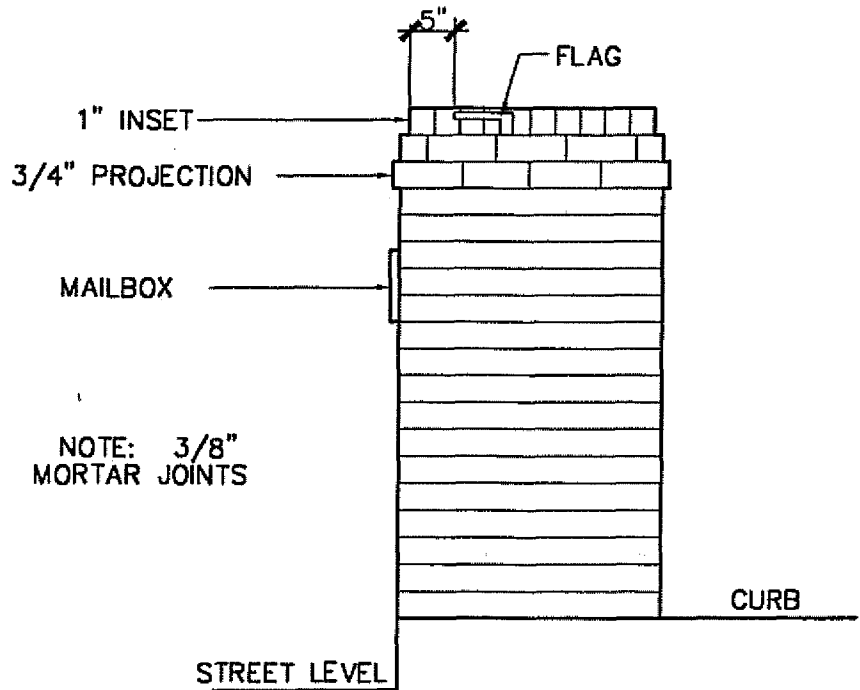
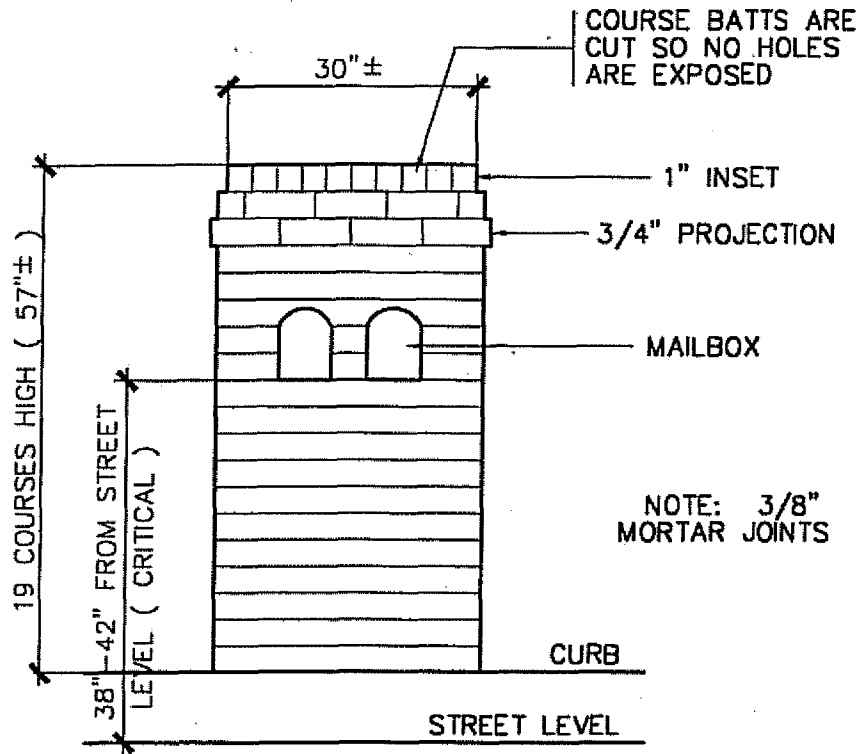
<u>Lot Area</u>	<u>Minimum Requirement</u>
Front Yard	One row of five (5) gallon non-deciduous (evergreen) shrubbery located along the foundation excluding porches and patios. One 2" (min.) caliper and one 3" (min.) caliper large canopy (i.e., red oak, live oak, cedar elm, Chinese pistachio) shade trees are required for each front yard.
Adjacent to Golf Course/ Lakes/Greenbelt	One row of five (5) gallon non-deciduous (evergreen) shrubbery located along the foundation excluding porches and patios. One 3" (min.) large canopy (i.e., red oak, live oak, cedar elm, Chinese pistachio) shade trees per rear yard, to be located within ten feet (10') of the rear property line.
Corner Yard	A total of one (1) 2½" caliper shade tree is required to face the side street. One row of non-deciduous (evergreen) five (5) gallon shrubbery is required where the foundation is exposed to the street. Where 6' solid wood fences run along the street frontage, one row of evergreen five (5) gallon shrubs are required.
AC Units/Mechanical Equipment Meters	One row of non-deciduous (evergreen) five gallon (min.) shrubbery is required to screen these elements from public view.

10. **Irrigation.** All yards must be 100% irrigated and sodded with an automatic irrigation system installed with the finishing stages of the residential dwelling. All automatic irrigation systems shall be designed by a Texas licensed irrigator and must have overlapping coverage. Controller devices must be located inside the garage.
11. **Sidewalks.** Unless otherwise approved by the MARC the builder of each single-family home shall construct, install and provide a public sidewalk which shall: (a) be approved (as to size, location and materials) by the MARC; (b) comply with applicable City of McKinney, Texas standards; (c) incorporate a "lay-down" curb on corner lots or other similar lots

designated by the MARC; and (d) to the extent applicable, conform to and continue the hike-and-bike trail within STONEBRIDGE RANCH. All concrete sidewalks, driveways, walkways and entry paths which are within the public right-of-way shall be broom finished.

12. Elevations. Each elevation or distinctive detail shall be limited to a maximum number of occurrences per street scene. As a general rule or objective, each floor plan should have three (3) elevations. Elevations are allowed to repeat when there are three (3) intervening lots of separation along the fronting or side/corner streets. Single car garage doors (8' wide) may face the fronting street. Double car garage doors (16' wide) may not face the fronting street.
13. Paint Colors. The trim colors of the house will be limited to a specific color family complimentary of the masonry selection. All exposed exterior flashing is to be painted a color to match the masonry color. Roof vents are to be painted a color to match the roof color.
14. Homebuilder Construction. Please refer to the most recent publication of the Construction Site Policy (attached).
15. Mailboxes. All mailboxes must be constructed as detailed on Exhibit A of the same brick as the adjacent house. Double mailboxes will be shared by two Lots and constructed on the shared lot line by the builder of the first house on either Lot.

EXHIBIT A



STANDARD MAILBOX DETAIL

**SUBDIVISION DESIGN GUIDELINES
REVISION LOG
FAIRWAY VILLAGE**

DATE	DESCRIPTION
10/2/00	Original Document
4/16/02	Revised Ppg. 5 to allow wood fences
06/18/2015	Updated landscaping and fencing requirements to meet current guidelines.