

SUBDIVISION DESIGN GUIDELINES

FOR

ISLEWORTH

at

STONEBRIDGE RANCH

06/18/2015

**SUBDIVISION DESIGN GUIDELINES
FOR
ISLEWORTH**

These Subdivision Design Guidelines are designed specifically for the Isleworth Addition Subdivision and are promulgated in accordance with Section 3 of Article VIII of the Consolidated and Amended Master Declaration of Covenants, Conditions, Restrictions, Easements, Charges and Liens on and for STONEBRIDGE RANCH (the "Master Declaration") which instrument was recorded on October 29, 1992 as Instrument No. 92-0076613 in the Public Real Estate Records of Collin County, Texas and which is incorporated herein by reference for all purposes and in accordance with Article 12 of the Village Declaration of Covenants, Conditions and Restrictions for Isleworth (the "Village Declaration") which instrument was recorded in the Real Property Records of Collin County, Texas and which is incorporated herein by reference for all purposes.

The primary purpose of these Subdivision Design Guidelines is to better assure owners of properties within Isleworth Subdivision that all individual improvements will conform to the same high standards of design excellence. The guidelines seek to establish a design framework which the individual homebuilder or homeowner will use as a guide for site improvement, with latitude and flexibility (on the one hand) balanced against preserving the integrity of STONEBRIDGE RANCH (on the other hand). These Subdivision Design Guidelines will, hopefully, serve to guide, inform, aid and inspire to the same extent as they serve to prohibit, restrict and require. While some features are mandated, it should be understood that the Master Architectural Review Committee ("MARC") may make discretionary judgments to reduce or waive any requirement when it can be demonstrated (to the reasonable satisfaction of the MARC) that appropriate mitigating measures have been taken. However, such discretionary approval(s) shall not represent or constitute a binding precedent since no two or more tracts or circumstances are likely to be alike.

1. Minimum Floor Space. Each dwelling construed on any Lot shall contain a minimum of three thousand (3,000) square feet of air-conditioned floor area, exclusive of all porches, garages or breezeways.
2. Height Limitation: Thirty-five feet (35') measured from the top of finished slab.
3. Minimum Dwelling Setback Requirements:
 - Front Yard: Twenty-five feet (25') to main structure.
 - Rear Yard: Twenty feet (20') from rear property line to main structure (excluding accessory buildings, cabanas, decks, fences, pools, etc.)

Interior

Side Yard: A distance equal to ten percent (10%) of the width of the Lot as measured at the building line established by the front yard setback (along a straight tangent line across the Lot for Lots on curves).

Corner

Side Yard: Fifteen feet (15') to main structure.

4. Sitework. Finished grades shall not direct concentrated water (i.e., downspouts, sub grade drainage systems) flow onto adjacent properties and shall follow the City of McKinney approved grading plans. Any time a site is altered, it is the builder's responsibility to provide the retainage. Retaining walls are only to be constructed of Milsap or Hackett stone. If side yard retaining walls are not desired, a slope of 3:1 (max.) must be achieved between the foundation slab and the side yard property line.
5. Masonry. Unless otherwise specifically approved by the MARC, each single-family detached residential dwelling shall have at least eighty-five percent (85%) of the exterior vertical surfaces (excluding windows, doors and roof) composed of approved masonry (i.e., brick, stone, stucco). Chimneys must be 100% masonry. Also, that portion of an elevation which faces a park, greenbelt, common space, golf course or lake/water must be 100% masonry. All mailboxes are to be located within a masonry structure approved by the MARC. Brick blends may be repeated with a minimum separation of five (5) intervening houses in any direction along the fronting or side/corner streets.
6. Fences Adjacent to Common Properties. With respect to each and every Lot which has a side or rear property line coincident with, or adjacent to the Common Properties, fences along the frontage, if desired, shall comply with the following requirements:
 - (A) Must be 59" (inches) in height;
 - (B) open metal, primed and painted a flat black color;
 - (C) constructed as indicated in the MASTER DESIGN GUIDELINES.

Provided however, fences along the rear and/or side property lines of Lots 1, 2, 11 and 12 of Block B may also be constructed of either (i) brick or stone which matches the brick or stone used on the residence located on such lot or (ii) Cedar (#1 "Standard or Better") with brick or stone pillars separating the wood sections and which such brick or stone pillars must be constructed of brick or stone identical to that used on the residence and must be a maximum of ten feet (10') apart.

Provided further however, all fences located within ten feet (10') of a common boundary line with the Golf Course must comply with the requirements set forth in Section 8 below, "Fences Adjacent to Golf Course".

7. **Fences Adjacent to Streets** All fences which are adjacent or side to any of the Streets or which extend from the outer perimeter of a dwelling to the side or rear property lines abutting a Street must be built with brick or stone (which must match the brick or stone used in construction of the residence), wrought iron, or Cedar (#1 “Standard or Better” and which must have brick or stone pillars separating the wood sections and which such brick or stone pillars must be constructed of brick or stone identical to that used on the residence and must be a maximum of ten feet (10') apart).

Provided further however, no fences other than those specified in Section 7 below may be constructed within ten feet (10') of a Golf Course boundary line.

8. **Fences Adjacent to Golf Courses**. With respect to each and every Lot which has a side or rear property line coincident with or adjacent to a golf course boundary line, fences are mandatory along such common property line and all fencing on the Lot (rear and side yards) must comply with the following requirements:

- (A) Must be 59” (inches) in height;
- (B) consist of open metal, primed and painted a flat black color;
- (C) constructed as indicated in the **MASTER DESIGN GUIDELINES**;
- (D) no fences other than those specified in this Section may be constructed within ten feet (10') of a Golf Course boundary line;
- (E) solid fences generally parallel to the golf course may extend from the residence to the side lot line a distance of no more than the minimum side yard setback set forth in Section 3, above. Such fences may be constructed of (i) brick or stone identical to that used on the residence, or (ii) cedar, however if cedar is used for any such fence and is visible from the Golf Course, such fence must be screened with landscaping; and
- (F) no gate or other access is permitted to the Golf Course.

9. **Fences on Interior Lots**. No fence shall exceed six feet (6') in height measured from finished grade. Except for open metal, all other fences shall be constructed with Cedar (#1 or “Standard and Better”) with pickets placed “good side out” on the exterior face of the subject lot so that posts are not visible from the adjacent lot. Posts may be steel pipe columns or cedar. No pine or spruce fencing materials shall be permitted. Interior lots must have a 6'-0" high solid wood privacy fence.

10. **Roof Drainage**. In order to assist in the orderly drainage and removal of roof water and the overall quality of drainage, gutters and downspouts may be required at the discretion and direction of the MARC.

11. **Roofs**. Any proposed composition roof materials shall be the same or better than the 30-year “Tamko Heritage 30”, a dimensional architectural-type shingle. The type, quality and color must

otherwise be specifically approved by the MARC. Roofs which cover bay windows are required to use copper, anodized aluminum (bronze or black), or a MARC approved factory finish.

12. **Required Landscaping.** Per the MARC approved landscape plan, all landscape is to be installed **BY THE BUILDER WITHIN THIRTY (30) DAYS** of substantial completion or change of ownership (closing). The Lot areas listed below shall be landscaped with the following size and/or number of shade trees, which shall be from the “highly recommended” or “acceptable” category described within the Stonebridge Ranch Plant Palette (set forth in the Master Design Guidelines).

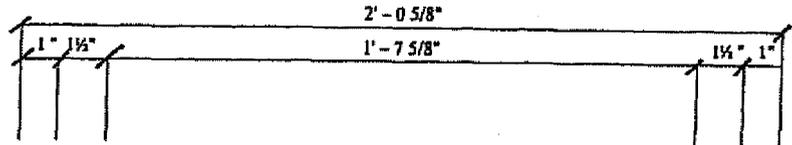
<u>Lot Area:</u>	<u>Minimum Requirement</u>
Front Yard	Two rows of five-gallon non-deciduous (evergreen) shrubbery (maximum spacing of 3'-0" o.c.) located along the foundation excluding porches and patios. A total of three (3) 6" (min.) caliper large canopy (i.e., red oak, live oak, cedar elm, Chinese pistachio) shade trees and a total of four (4) small canopy trees (i.e., crape myrtle 6'-8' B&B, Yaupon Holly 6'-8' B&B, redbud 2-1/2" caliper, etc.)
Adjacent to Parks, Greenbelts, Common Spaces, Golf Course & Lakes/Water	Two rows of five (5)-gallon non-deciduous (evergreen) shrubbery (maximum spacing of 3'-0" o.c.) located along the foundation excluding porches and patios. Two (2) 6" minimum caliper trees per rear yard, to be located within ten feet (10') of the rear property line.
Corner Yard	A total of one (1) 6" (min.) caliper large canopy tree (i.e., red oak, live oak, cedar elm, Chinese pistachio) is required to face the side street and be located outside the fenced area. Two rows of non-deciduous five (5)-gallon shrubbery (maximum spacing of 3'-0" o.c.) is required where the foundation is exposed to the street. Where solid 6' wood fences run along the street frontage, one row of non-deciduous (evergreen) five (5)-gallon minimum shrubs is required along the fence.

A/C Units/
Mechanical Equipment/
Meters

One row of non-deciduous five (5)-gallon shrubbery (maximum spacing of 3'-0" o.c.) is required to screen these elements from public view.

13. Irrigation. The MARC requires that each Lot have an automatic sprinkler system. All automatic irrigation systems shall be designed by a licensed irrigator and are required to have overlapping coverage. Controller devices must be located inside the garage.
14. Sidewalks & Driveways. Unless otherwise approved by the MARC the builder of each single-family home shall construct, install and provide a public sidewalk which shall: (a) be approved (as to size, location and materials) by the MARC; (b) comply with applicable subdivision improvements and City of McKinney, Texas standards; (c) incorporate a "lay-down" curb on corner lots or other similar lots designated by the MARC; and (d) to the extent applicable, conform to and continue the hike-and-bike trail within STONEBRIDGE RANCH. All concrete flatwork which is within the public right-of-way must be broom finished as a minimum.
15. Elevations. Elevations are not allowed to repeat. There will not be an exception. Unless otherwise approved by MARC, double car garage doors shall not face the street. Single car garage doors may face the street if they are located 20' behind the front yard building line.
16. Window Restrictions. All windows located on the second floor of the restricted side of the Lot must be composed of obscure glass or glass block. See Exhibit A for location of restricted sides and description of the restrictions.

NOTE Window restrictions are intended to enhance privacy, but do not guarantee privacy.
17. Paint Colors. The trim colors of the house will be limited to a specific color family complimentary of the brick selection. Garage doors should be painted a subtle variation of the primary house color. All exposed exterior flashing is to be painted a color to match the brick color. Roof vents are to be painted a color to match the roof color.
18. Address Plaques. The address plaques are to be made of cast stone, brass or other approved material and mounted on a conspicuous vertical surface close to the front door.
19. Homebuilder Construction. Please refer to the most recent publication of the Construction Site Policy.
20. Builder Signage. See Exhibit B for specifications.



Logo – Navy Blue (PMS 282C)

Background – White



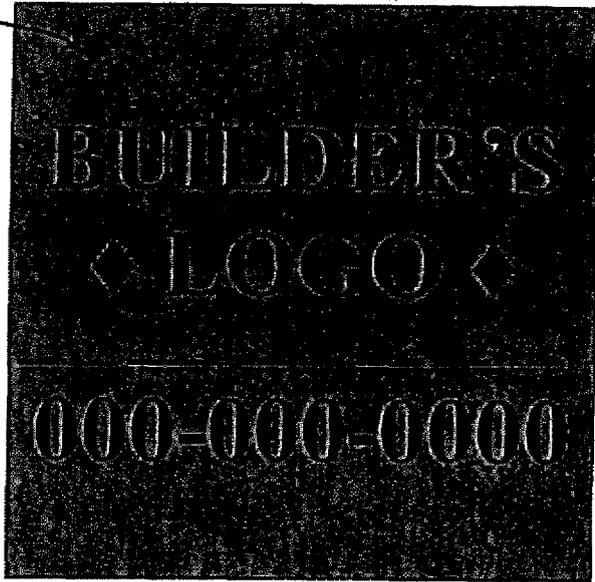
Custom Villages – Metallic Gold

All Other Villages – Black

Frame – Black (Glossy)

Waterbury

Note: The shaded area is designated for the builder's identification. The quantity of colors, logo, and script is to be determined by the builder. All costs for the sign/s are to be incurred by the builder.



"Hanger Sign"

FOR SALE
SOLD
OPEN
CLOSED
SALE PENDING

Background – White

Letters – Navy Blue (PMS 282C)

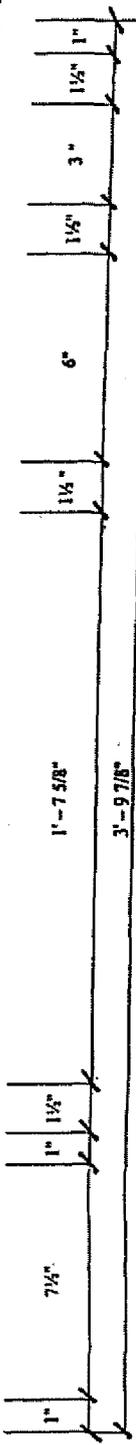
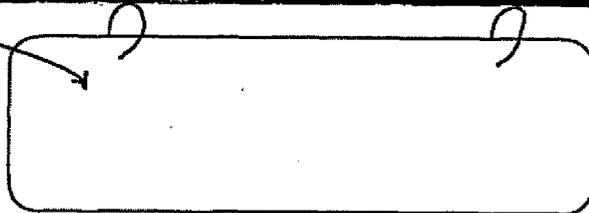


EXHIBIT B

STONEBRIDGE RANCH LOT SIGN POLICY

The lot sign policy for all builders in Stonebridge Ranch is divided into two segments: the custom villages and the production villages. The actual design characteristics are described on page two.

CUSTOM VILLAGES

(Ballantrae, Isleworth, Stonebridge Estates, Waterbury)

The "SB" is to be done in Blue (PMS 282C). The village name is to be in gold (with correct logo).

The number of signs is dictated by the following:

1. Signs are allowed on contract and build-to-suit lots.
2. One sign is allowed in a village where the builder has no activity.
3. If there is no activity in any village, the maximum number of signs allowed is one per village.

Each builder is allowed to place the builder's company logo and colors in the space provided. Logos of all villages are available by contacting the Development Office.

Please be guided accordingly.

**SUBDIVISION DESIGN GUIDELINES
REVISION LOG
ISLEWORTH**

DATE	DESCRIPTION
10/9/00	Original document
1/18/01	Revision: Added Ppg. 20 and Exhibit B
3/28/01	Revised Ppg. 2, Height Limitation and replaced Exhibits B-1 and B-2 with Exhibit B
2/1/02	Revised Ppg. 8, Fences Adjacent to Golf Courses; first sentence
06/18/2015	Updated landscaping and fencing requirements to meet current guidelines.