

SUBDIVISION DESIGN GUIDELINES

FOR

LIBERTY PLACE

AT

STONEBRIDGE RANCH

**SUBDIVISION DESIGN GUIDELINES
FOR
LIBERTY PLACE**

These Subdivision Design Guidelines are designed specifically for LIBERTY PLACE Subdivision (Lots 20-31, Block A and Lots 1-33, Block C) and are promulgated in accordance with Section 8.5 of Article VIII of the "First Amended and Restated Master Declaration of Covenants, Conditions and Restrictions for STONEBRIDGE RANCH" (the "Master Declaration") which instrument was recorded on December 5, 2000 as Instrument No. 2000-0132145 in the Public Real Estate Records of Collin County, Texas and which is incorporated herein by reference for all purposes.

The primary purpose of these Subdivision Design Guidelines is to supplement the current version of the MASTER DESIGN GUIDELINES for STONEBRIDGE RANCH. Adherence to these guidelines is intended to better assure owners of properties within LIBERTY PLACE Subdivision that all individual improvements will conform to the same high standards of design excellence. The guidelines seek to establish a design framework which the individual homebuilder or homeowner will use as a guide for site improvement, with latitude and flexibility (on the one hand) balanced against preserving the integrity of STONEBRIDGE RANCH (on the other hand).

These Subdivision Design Guidelines will, hopefully, serve to guide, inform, aid and inspire to the same extent as they serve to prohibit, restrict and require. While some features are mandated, it should be understood that the Master Architectural Review Committee ("MARC") may make discretionary judgments to reduce or waive any requirement when it can be demonstrated (to the reasonable satisfaction of the MARC) that appropriate mitigating measures have been taken. However, such discretionary approval(s) shall not represent or constitute a binding precedent since no two or more tracts or circumstances are likely to be alike.

1. Height Limitation: Thirty-five feet (35') measured per City ordinances.
2. Minimum Dwelling Setback Requirements:

Front Yard: Twenty feet (20') to main structure.

Rear Yard: Twenty feet (20') from rear lot line to main structure (excluding accessory buildings, cabanas, decks, fences, pools, trellises, etc.).

Side Yard: Zero (0) setback from the zero (0) Side Yard & ten feet (10') setback from the other side yard.

Side Yard
on Corner: Fifteen feet (15').

3. Foundation Survey. An existing grade topographical survey by a registered surveyor is not initially required to be submitted by the builder/owner unless, prior to the commencement of construction, the MARC should foresee potential grading problems. However, the MARC reserves the right, upon reasonable advance notice, to require a topographical survey done by a registered surveyor before, during or after construction.
4. Sitework. Finished grades shall not direct concentrated water (i.e., downspouts, pool overflows, sub grade drainage systems) flow onto adjacent properties and should follow the City of McKinney approved grading plans. Anytime a site is altered, it is the builder's responsibility to provide the retainage. Retaining walls are only to be constructed of milsap stone. If side yard retaining walls are not desired, a slope of 3:1 (max.) must be achieved between the foundation slab and the side yard property line.
5. Brick Blends. Brick blends may not be repeated on adjacent houses (same side of the street) along the fronting or side/ corner streets.
6. Fences On Creek/Greenbelt, Common Area or Open Space Lots. Fences on Lots 20, 21 and 24-31, Block A; and Lots 14-33, Block C which have a side or rear property line coincident with, adjacent to, or close to a creek/greenbelt, common area or open space so as to generally constitute "frontage", are required and must comply with the following requirements (this includes the rear fences as well as the side yard fences returning to the houses and the front fence between the houses. See Exhibit A-Sketch A attached).
 - A. Must be 59" on the rear or side property line adjacent to the creek/greenbelt, common area or open space – open metal to be primed and painted a flat black color;
 - B. Side yard only adjacent to another lot – maximum height of six feet (6') Western Red Cedar (#1 or "Standard and Better") with a 10 feet (10') long view zone of 59" open metal at the rear property line. The transition slope on the wood fence down to the open metal shall be per the Master Design Guidelines.
 - C. constructed as indicated in the Master Design Guidelines.
7. Fences on Interior Lots. Rear yard fences shall be solid wood privacy fences six feet (6') in height measured from finished grade. Fences shall be constructed with Western Red Cedar (#1 or "Standard and Better") with pickets placed on the exterior face or as specified by the MARC. Posts may be steel pipe columns or cedar. No pine or spruce fencing materials shall be permitted.

8. **Fences on Corner Lots.** Rear property line fences and fences on the side yard line adjacent to another lot must be the 6' height solid wood privacy fence. Front yard fences between house may be the 6' height open metal type fence or the 6' height solid masonry screen wall described above. Side yard fences adjacent to the side street must be the 59" height open metal fence described above (see Exhibit A-Sketch C).

9. **Roof Drainage.** In order to assist in the orderly drainage and removal of roof water and the overall quality of drainage, gutters and downspouts are required on all homes. On the zero (Ø) side of the house, the downspouts must be tied into underground pipes draining out o the street.

10. **Roofs.** Any proposed composition roof materials shall be the 25-year GS (Great Systems, manufacturer) Firehalt shingle or equal in the weathered wood color. Roofs which cover bay windows are required to use copper, anodized aluminum (bronze or black), or a MARC approved factory applied finish.

11. **Required Landscaping.** Per the MARC approved landscape plan, all landscape is to be installed **BY THE BUILDER WITHIN THIRTY (30) DAYS OF SUBSTANTIAL COMPLETION OR CHANGE OF OWNERSHIP (CLOSING)**. The Lot areas listed below shall be landscaped with the following size and/or number of shade trees, which shall be from the "highly recommended" or "acceptable" category described within the **STONEBRIDGE RANCH Plant Palette** (set forth in the Master Design Guidelines).

Lot Area

Minimum Requirement

Front Yard

One row of five gallon (min.) non-deciduous (evergreen) shrubbery located along the foundation excluding porches and patios. A total of one 3½"-4½" caliper (min.) large canopy (i.e., red oak, live oak, cedar elm, Chinese pistachio) shade trees and one 6'-8' height (min.) ornamental tree are required for each front yard.

Adjacent to Greenbelt
and Golf Course

One row of five gallon (min.) non-deciduous (evergreen) shrubbery located along the foundation excluding porches and patios.

Corner Yard

A total of one 3½"-4½" (min.) caliper shade tree is required to face the "side" street and be located in the side yard. One row of non-deciduous

(evergreen) five gallon (min.) shrubbery is required where the foundation is exposed to the street.

Where fences run along the street frontage, one row of evergreen five gallon (min.) shrubs planted at a maximum of 3'-0" o.c. is required.

AC Units/Mechanical
Equipment Meters

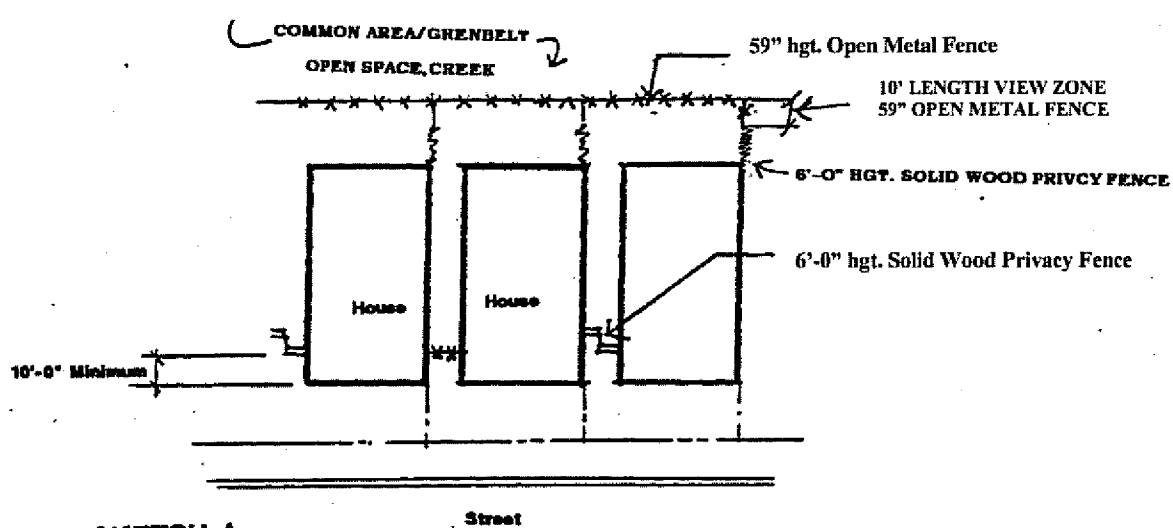
One row of non-deciduous (evergreen) five gallon (min.) shrubbery is required to screen these elements from public view.

12. **Irrigation.** The MARC requires that all yards (front, side and rear of each Lot) must have an automatic irrigation system. All automatic irrigation systems shall be designed to have overlapping coverage. Controller devices must be located inside the garage area.
13. **Sidewalks & Driveways.** Unless otherwise approved by the MARC, the builder of each single-family home shall construct, install and provide a public sidewalk which shall: (a) be approved (as to size, location and materials) by the MARC; (b) comply with applicable subdivision improvements and City of McKinney, Texas standards; (c) incorporate a "lay-down" curb on corner lots or other similar lots designated by the MARC; and (d) to the extent applicable, conform to and continue the hike-and-bike trail within STONEBRIDGE RANCH. All concrete sidewalks, driveways, walkways and entry paths which are within the public right-of-way must be broom-finished as a minimum.
14. **Elevations & Floor Plans.** As a general rule or objective, each floor plan should have three (3) elevations. Elevations shall not repeat without at least 3 intervening homes of sufficient dissimilarity along the fronting or side/corner streets.
15. **Garage Doors.** Garage doors shall be "Select Tight Knot Cedar" by Master Doors (contact Dan Masters at 817-975-1748). Doors shall be stained a complementary color coordinating with the trim or brick/stone color of the house and approved by the MARC.
16. **Paint Colors.** The trim colors of the house will be limited to a specific color family complimentary of the brick selection. All exposed exterior flashing is to be painted a color to match the color of the adjacent material. Roof vents are to be painted a color to match the roof color.
17. **Address Plaques.** The address plaques are to be made of cast stone and mounted on a conspicuous vertical surface close to the front door and include the address numbers only.
18. **Homebuilder Construction Hours.** Please refer to the most recent publication of the Construction Site Policy.

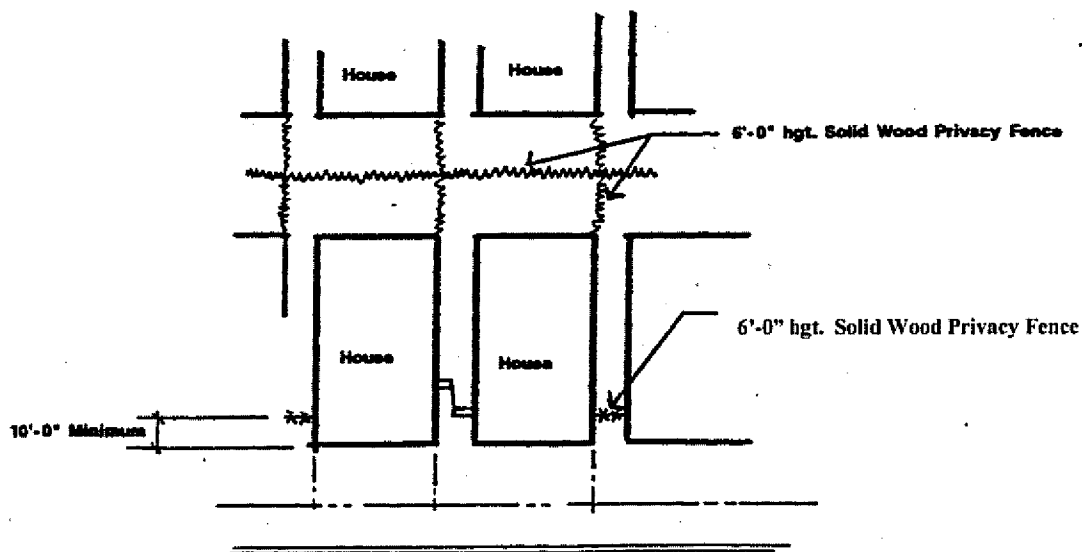
Subdivision Guidelines - LIBERTY PLACE

Page 6

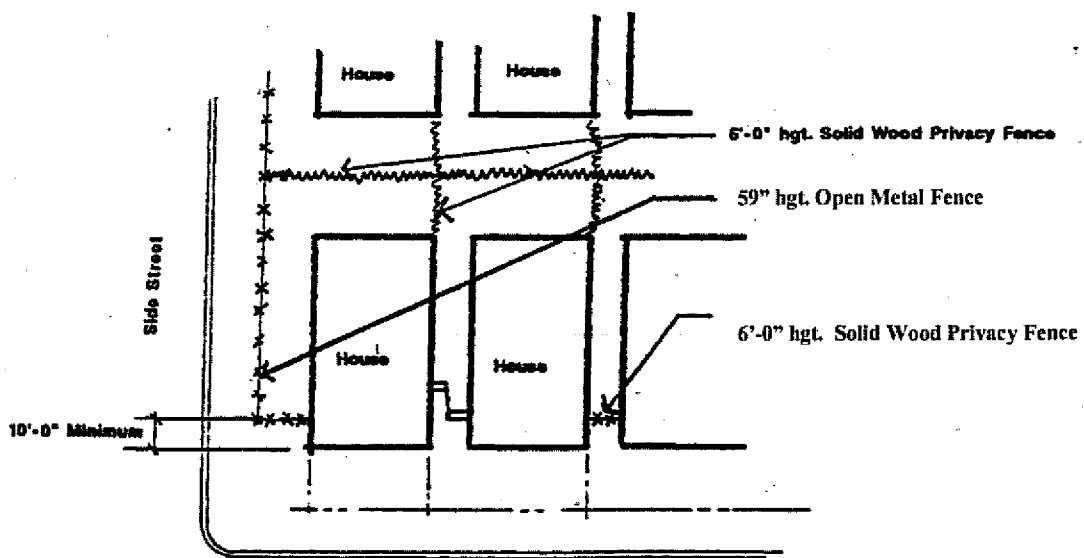
19. Privacy Wall. The "Privacy Wall" of the home shall be placed parallel to and set directly upon the side yard property line as indicated on the plat. Atriums are allowed on the Privacy Wall of the home provided a minimum 8' masonry Privacy Wall is constructed to protect the open side of the adjacent home. Windows within the atrium are allowed to a maximum 10' header height.
20. Glass Block. Except within atriums as described above, glass block is the only window material allowed on the Privacy Wall of the house (25 square feet maximum allowable size per opening).
21. Mailboxes. Mailboxes must be the Brandon Industries Model P10-M9 dual painted flat black and located as shown on Exhibit B (single box only as shown on Plan).



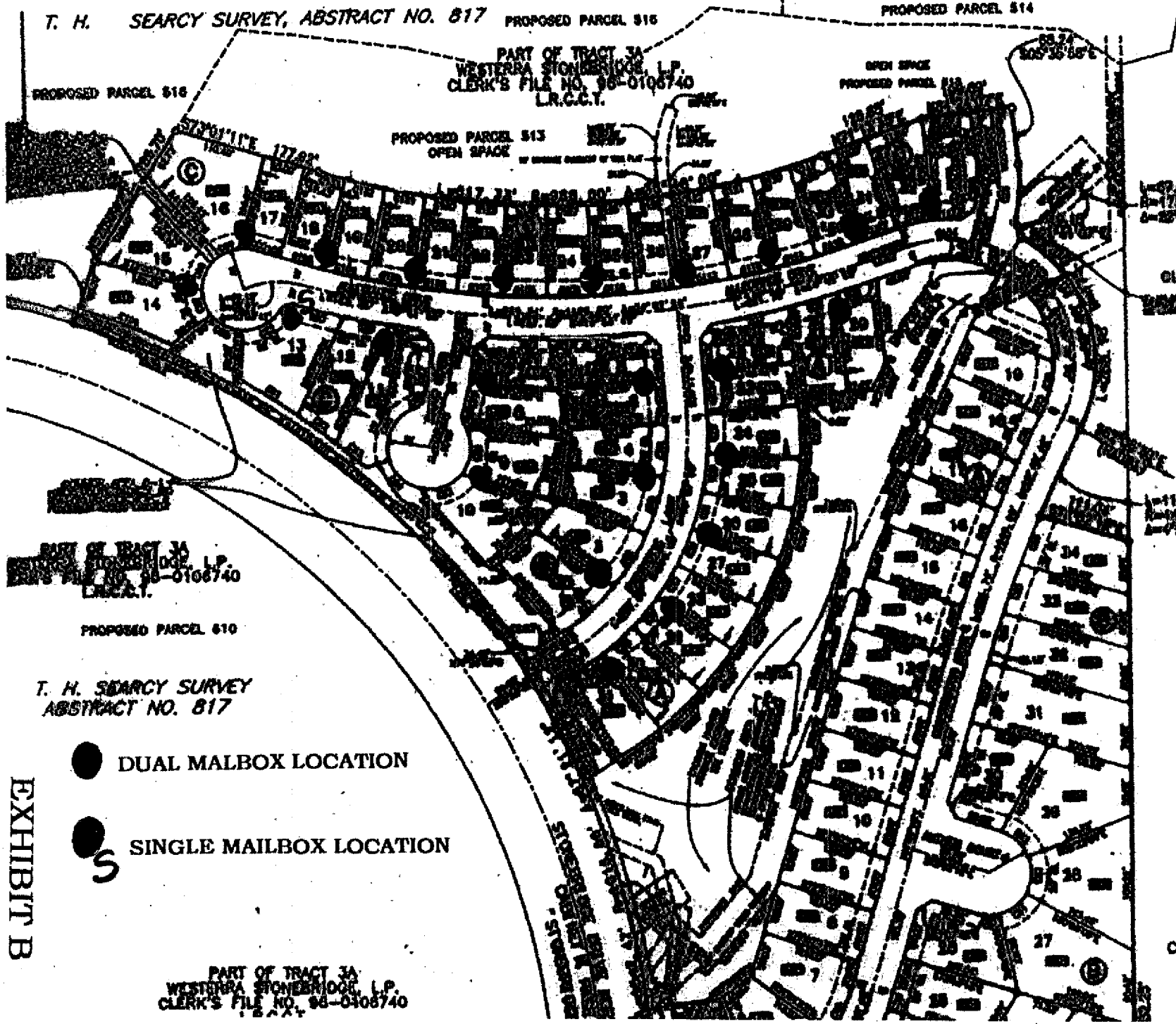
SKETCH A



SKETCH B



SKETCH C



T. H. SEARCY SURVEY, ABSTRACT NO. 817

PROPOSED PARCEL 514

PROPOSED PARCEL 516

PART OF TRACT 3A
WESTERRA STONERIDGE, L.P.
CLERK'S FILE NO. 98-0106740
L.R.C.C.T.

OPEN SPACE
PROPOSED PARCEL 513

PROPOSED PARCEL 513
OPEN SPACE

T. H. SEARCY SURVEY
ABSTRACT NO. 817

TRACT TWO
JOPLIN PARTNERS, LTD.
CLERK'S FILE NO. 95-0000790
L.R.C.C.T.

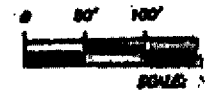
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WESTERRA STONERIDGE, L.P.
CLERK'S FILE NO. 98-0106740
L.R.C.C.T.

PROPOSED PARCEL 510

T. H. SEARCY SURVEY
ABSTRACT NO. 817

● DUAL MALBOX LOCATION

● S SINGLE MAILBOX LOCATION



T. H. SEARCY SURVEY
ABSTRACT NO. 817

TRACT TWO
JOPLIN PARTNERS, LTD.
CLERK'S FILE NO. 95-0000790
L.R.C.C.T.

EXHIBIT B

PART OF TRACT 3A
WESTERRA STONERIDGE, L.P.
CLERK'S FILE NO. 98-0106740
L.R.C.C.T.

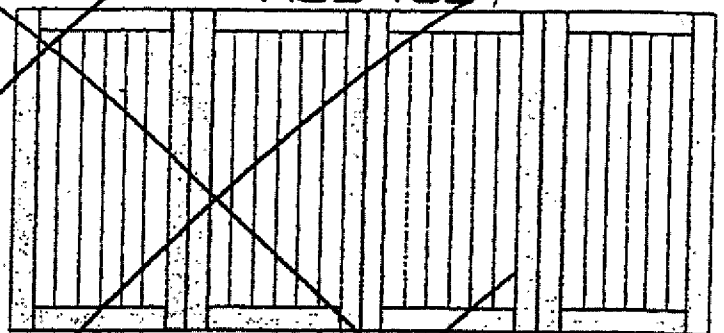
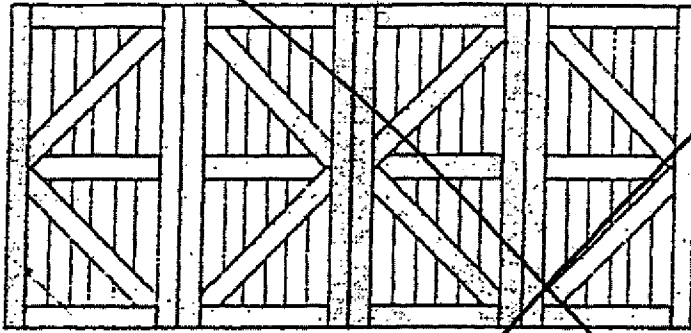
LIBERTY PLACE

ARCHITECTURAL OVERHEAD DOOR

BASIC DESIGNS

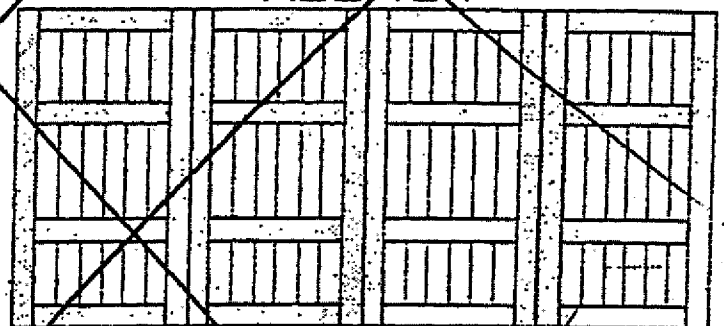
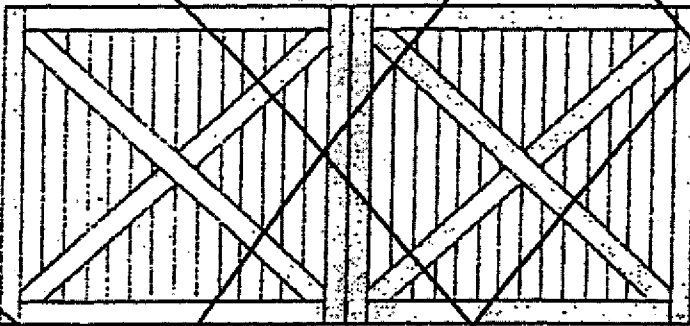
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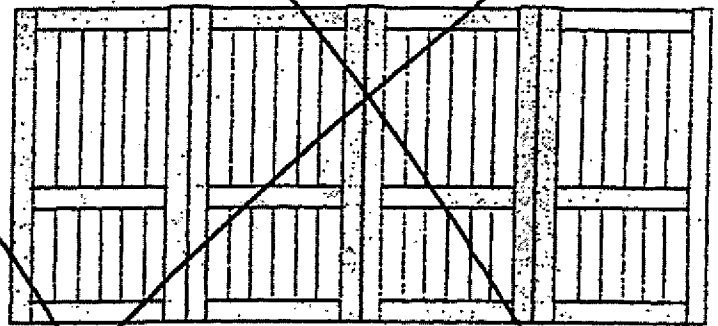
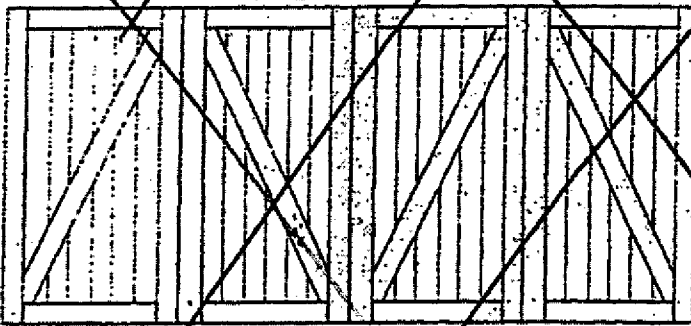
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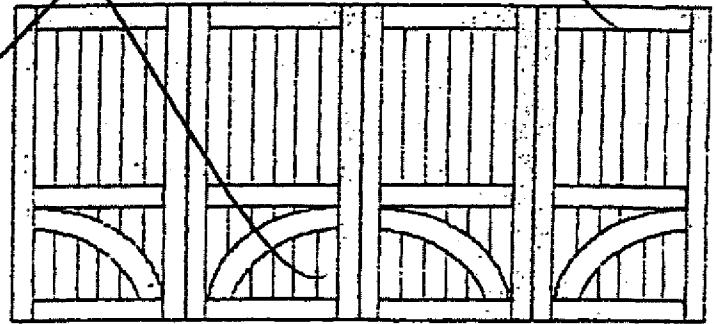
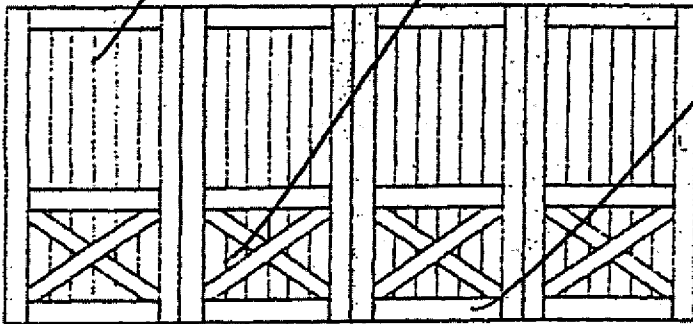
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AOD-106



AOD-107

AOD-108



Gary Houchin 214.343.5178 Pat McGee

**SUBDIVISION DESIGN GUIDELINES
REVISION LOG
LIBERTY PLACE**

DATE	DESCRIPTION
1/8/03	Original Document
2/19/03	Ppg. 15 – changed garage door supplier to Master Doors and removed reference to Exhibit B. Ppg. 21 – Changed Exhibit “C” to Exhibit “B”.
7/31/03	Ppg. 6 – revised fencing requirement for side yards. Revised Exhibit A.
06/18/2015	Updated landscaping and fencing requirements to meet current guidelines.